

UNIT AREA SCHEDULE	
1 BED ROOM UNIT	
Floor Area	57.00m²
Total Area	57.00m²
1 BED ROOM UNIT with BALCONY	
Floor Area	57.00m²
Balcony	5.00m²
Total Area	62.00m²
1 BED ROOM UNIT with BALCONY	
Floor Area	63.00m²
Balcony	5.00m²
Total Area	68.00m²
2 BED ROOM UNIT	
Floor Area	86.00m²
Balcony	5.00m²
Total Area	91.00m²
3 BED ROOM UNIT	
Floor Area	121.00m²
Balcony	5.00m²
Total Area	126.00m²

WALL : DESIGN

Wall Construction External

SANS 10400-XA Requires R-Value

Wall TypeMasonry

Minimum R-value required0.35

[refer SANS 10400-XA (4.3.3) & SANS 204]

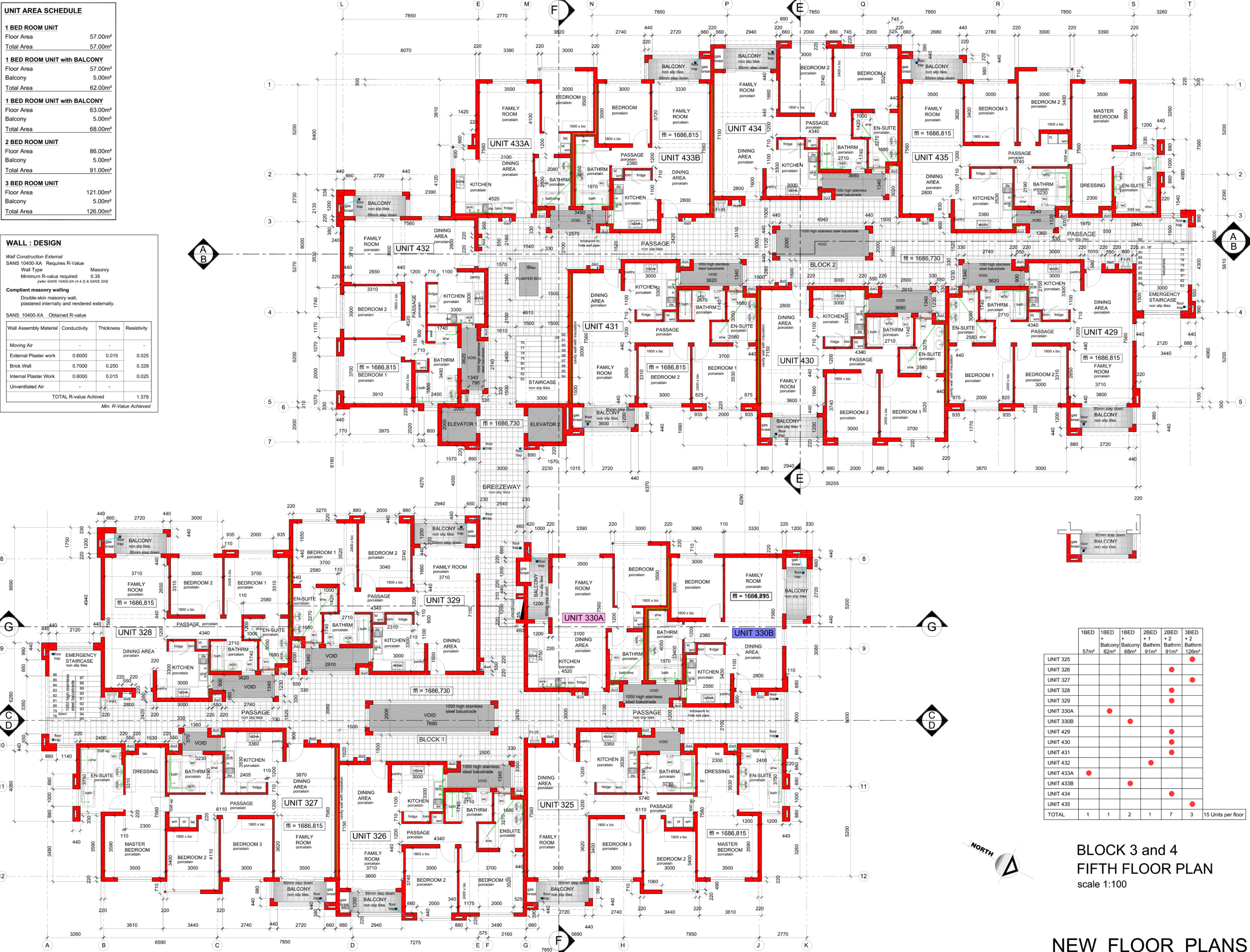
Compliant masonry walling

Double-skin masonry wall,
plastered internally and rendered externally.

SANS 10400-XA Obtained R-value

Wall Assembly Material	Conductivity	Thickness	Resistivity
Moving Air	-	-	-
External Plaster work	0.6000	0.015	0.025
Brick Wall	0.7000	0.250	0.329
Internal Plaster Work	0.6000	0.015	0.025
Unventilated Air	-	-	-
TOTAL R-value Achieved			1.379

Min. R-Value Achieved



	1BED	1BED + Balcony	1BED + Balcony	2BED + 1 Bathrm	2BED + 2 Bathrm	3BED + 2 Bathrm
	57m²	62m²	68m²	91m²	91m²	126m²
UNIT 325						
UNIT 326						
UNIT 327						
UNIT 328						
UNIT 329						
UNIT 330A						
UNIT 330B						
UNIT 429						
UNIT 430						
UNIT 431						
UNIT 432						
UNIT 433A						
UNIT 433B						
UNIT 434						
UNIT 435						
TOTAL	1	1	2	1	7	3

BLOCK 3 and 4
FIFTH FLOOR PLAN
 scale 1:100

REVISIONS:		
REV.	DESCRIPTION	DATE
1	Re-submission to amended building plans	2019-03-15

NOTES:
 All work to be carried out in strict accordance with the ARCHITECTS instructions.

Top of foundations to be minimum of 300mm below N.G.L. Vertical DPC to all changes in levels.

Reinforced concrete slab to **ENGINEER'S** details & specifications.

Waterproofing by specialists.
 S.A.B.S. approved bitumen based waterproofing laid with required upturns. onto min. 25mm thick screed. Acrylic based waterproofing to parapet walls & uprisers.

All plumbing & drainage installation of sanitary fittings to comply with SANS 10400-P:2010 & all relevant local authority by-laws, regulations & requirements.
 I.E.'s and R.E.'s to all bends, junctions and changes in direction of soil and waste pipe's.
 R.E.'s to all runs exceeding 24m in length.
 100# GSP. minimum fall 1:50.
 100# GSP. maximum fall 1:5.
 Soil pipes under building's to be encased in 300mm concrete all round.
 All waste fittings to be fitted with re-seal traps.

Staircase specifications to comply with SANS 10400-M:2011
 Balustrades to be minimum 1000mm high.
 Balustrades to be minimum 100mm apart.
 Risers to be maximum 200mm high.
 Treads to be minimum 250mm wide.

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 This is an AUTO CAD generated drawing.
 Drawing must not be scaled.
 Figured dimensions only may be used.
 Dimensions should be verified on site and any discrepancies reported to the ARCHITECTS immediately.

REGULATION NOTICE.
 All operations carried out on this site must be done strictly in accordance with the requirements of the Occupational Health and Safety Act. This applies to all site staff as well as management and visitors to the site.
 Any failure to conform to these regulations may result in the removal of the offender's from site or cancellation of the offender's contract.

CLIENT:	
MIZOLUX CC	
PROJECT:	
PROPOSED APARTMENT DEVELOPMENT ON STAND 8172; KENSINGTON; EXT.9	
DRAWN:	
INDIRAN	
DATE:	
2019-03-15	
CHECKED BY:	
INDIRASAN GOVENDER	
DATE:	
ST0491	

DATE :	
CLIENT'S SIGNATURE :	
DRAWINGS:	
• FIFTH FLOOR PLAN	
•	
•	
•	
•	
• BLOCKS 3 AND 4	



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DRAWING NUMBER:
 9051-226

REV:
 1